

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

January 10, 2024

Candia Planning Board
Attn. Rudy Cartier
74 High Street
Candia, NH 03034

**RE: Major Site Plan Application
669 High Street Candia, NH
Map 405, Lot 48
JBE Project No. 22201**

Dear Mr. Cartier:

Jones & Beach Engineers, Inc. respectfully submits a Major Site Plan Application for the above-referenced parcel on behalf of our client & Applicant, Bob Carr, Claudia Patricia Carr Rev Trust. The intent of this application is to remove the existing house that is on the property and construct three duplexes and a barn out back. The units are planned to be rental units and ownership will be retained. The application is for a site plan since the property is not being subdivided. As you may recall, this site previously had some conceptual hearings and a variance granted for this proposal.

The driveway location will be in the same place as the existing driveway and will be widened and paved for access to the 6 new units. The driveway is not proposed as a Town road and not designed as one since it only accesses these proposed buildings. The driveway is aligned with Donovan Road across from the site.

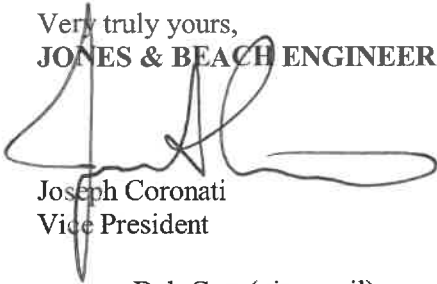
We are proposing 3 septic systems, one per building and one well to serve all 6 units. We are requesting waivers for not providing boundary, topography, or wetland delineation on the entire parcel since is approximately 87.8 acres and we are only working on the front portion. We have also requested a waiver from providing a drainage design, once again as we are adding minimal impervious coverage and have agreed that no further development of the back land will occur. We feel this is a sensible trade off since much of the property will not be developed and the site slopes away from Route 27 into a largely forested area of Town and we have a large beaver pond out back.

The following items are provided in support of this Major Site Plan Application:

1. Major Site Plan Application with Checklist.
2. ZBA Approval.
3. Waiver Requests.
4. Letters of Authorization.
5. Deeds.
6. Fee Check.
7. Test Pits.
8. Abutters List with Mailing Labels (3 Sets)
9. Tax Map.
10. Three (3) Full Size Plan Sets.
11. 11x17 Architectural Plans.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.



Joseph Coronati
Vice President

cc: Bob Carr (via email)
Jason A. Bielagus, Esq. (via email)

CANDIA PLANNING BOARD

MAJOR SITE PLAN - INSTRUCTIONS FOR MAKING APPLICATION FOR MAJOR SITE PLAN AND REVIEW

I.

1. Name and street address of Applicant(s): Bob Carr, Claudia Patricia Carr Rev Trust

17 Vassar Street, Manchester, NH 03104

Phone #: (603) 231-1991 Email: bob.carr22@comcast.net

2. Name and street address of property owner(s): Same as Applicant

Phone #: _____ Email: _____

3. Name and street address of authorized agent: Joseph Coronati, Jones & Beach Engineers, Inc
PO Box 219, Stratham, NH 03885

Phone #: (603) 772-4746 Email: jcoronati@jonesandbeach.com

4. Location of Site: Address: 669 High Street

Tax Map and Lot # 405 / 48

Total number of acres in parcel 87.8

5. Intended use: Commercial _____ Residential x Industrial _____

6. Intent: The intent of this project is to construct three duplexes and a barn.

7. Name and street addresses of abutters: Complete attached Schedule A (abutters must also be identified on the plat)

8. Statement of Authorization: If the applicant is not the owner of the site, a notarized statement giving authority to the applicant to make a site plan review application must be submitted. This statement must include any conditions or restrictions set forth by the owner and an expiration date, if any.

9. Payment of the following fees:

A. Application Fee of Site Plan	\$200.00	
B. Engineer Review Fee	\$ at cost	
C. Compliance Inspection Fee	\$ at cost	
D. Legal Notice Fee (Per Hearing)	\$150.00	Current Abutter Fee - \$10.53
E. Abutters' Notices	\$8.33 (per abutter) * or current postal rate plus \$1	26
F. Fire Department Review	\$ at cost	abutters
G. Recording Fees:		
Mylars	\$26.00 per sheet	
L-Chip Fee	\$25.00	
Delivery to Registry	\$20.00	
H. Fire Department Inspection	\$ at cost	
I. Gravel Pit Permit	\$ at cost	

TOTAL = \$623.78

II. EXISTING DATA AND INFORMATION

ITEM

CHECKED

- | | |
|---|-----|
| 1. Location of site shown | 1. |
| 2. Names and street addresses of Owner's of record | 2. |
| 3. Names and street addresses of abutters | 3. |
| 4. Name & address of firm preparing the plan | 4. |
| 5. Scale of plan (1" = 20' minimum) | 5. |
| a. entire site area shown on one sheet with index on sheets | |
| 6. North arrow | 6. |
| 7. Plan prepared by a P.E. or R.L.S. with seal. <i>All plans must also be submitted electronically via e-mail or approved storage media in the portable document format (PDF) with a maximum file storage size of 10 M.B.</i> | 7. |
| 8. Date of plan | 8. |
| 9. Name and address of person or firm preparing other data if different from preparer of plan | 9. |
| 10. Boundary lines of site shown | 10. |
| 11. Bearings and distances shown | 11. |
| 12. Total lot area shown | 12. |
| 13. Plan drawn in ink on transparent mylar | 13. |
| 14. Existing grades shown | 14. |
| 15. Existing drainage systems and structures shown | 15. |
| 16. Existing easements; locations and dimensions: | 16. |
| a. drainage | |
| b. slope | |
| c. detention ponds | |
| d. temporary (cul-de-sac, other) | |
| e. utility | |
| f. rights-of-way | |
| 17. Use of all abutting properties shown with all structures thereon and access roads within 500' of the parcel. | 17. |
| 18. Vicinity sketch (locus map): | 18. |
| a. location of site shown | |
| b. zoning within 1000' of site shown | |
| c. 100-year flood plain, if applicable | |
| d. scale shown | |
| 19. Topographic map of site with: | 19. |
| a. Benchmark established by Applicant or USGS | |
| b. 2' contours with spot elevations | |
| c. existing contours dashed | |
| 20. Special features, natural and man made, affecting site or giving it character such as: | 20. |
| a. bodies of water | |
| b. streams or water courses | |
| c. swamps, marshes or wetlands | |
| d. wooded areas | |
| e. large (in excess of 24" DBH) trees or boulders | |
| f. other significant features | |
| 21. Location of all existing monuments | 21. |
| 22. Statement describing purpose of the plan | 22. |
| 23. Tax Map and Lot number | 23. |
| 24. Existing zoning variances or special exceptions, with applicable references | 24. |

III. PROPOSED PLAN AND INFORMATION

- | | |
|--|----|
| 1. Plans: | |
| a. Area to be disturbed for streets, drainage, structures (100,000+ SF) require DES site specific approval | a. |
| b. Sewer, water, gas and electric lines | b. |
| c. Erosion and sedimentation control plan | c. |
| d. Finished contour lines | d. |
| e. Existing tree lines and proposed plantings | e. |
| f. Paved areas | f. |
| g. Percentage of site finished with impervious cover | g. |
| h. Location and size of structures | h. |
| i. Scale 1" = 50', or as approved by the Broad | i. |

j. Details as required:	j.
1. construction details	
2. grading details	
3. drainage and erosion control	
4. utility details	
k. USGS or assumed datum	k.
2. Proposed streets, including names	2.
*3. Proposed drives, parking spaces and sidewalks	3.
4. Radii of all curves shown	4.
5. Widths of streets, drives and sidewalks shown	5.
6. Parking required by Zoning Ordinance _____ spaces	6.
Parking provided by proposed site plan _____ spaces	
Size of parking spaces: _____ X _____	
7. Size and location of all proposed and public utilities	7.
8. Proposed landscaping and screening	8.
a. location	a.
b. type	b.
c. size	c.
d. planting schedule	d.
9. Lighting and signage plan	9.
10. Drainage Calculations/Report	0.
a. System sizing	a.
b. detention, retention provided as necessary	b.
c. end treatments for all culverts	c.
d. pipes adequate for the designated design storm	d.
11. Circulation plan provided	11.
a. pedestrian and vehicular traffic	a.
b. checked turning radii for fire equipment	b.
c. checked for access to fire hydrant(s)	c.
12. Construction drawings and details provided:	12.
a. pavement and road profiles	a.
b. walks and steps	b.
c. curbing	c.
d. drainage structures	d.
e. other details as required	e.
13. Architectural Renderings	13.
14. Solid Waste Disposal Plan	14.
15. Timetable for construction and completion of buildings, improvements and landscaping	15.
16. Snow storage areas	16.
17. Location of any fire suppression system as required by the Fire Department	17.
18. Signature block for signing by seven members of the Planning Board	18.
19. All required State, Federal and Local permits and permit numbers	19.
20. All proposed waivers of Town of Candia regulations	20.
21. A table summary of the area or impervious cover, greenspace, landscaping and building area	21.
22. SWPPP	22.
23. Sight Distance Plan	23.
24. A list of all granted variances, special exceptions and waivers granted.	24.

IV. ADDITIONAL INFORMATION AS REQUIRED

1. Abutters list provided	1.
2. Permits secured or applications submitted and copies provided	2.
3. Review letter by Fire Department	3.
4. Review letter by Police Department	4.
5. Review letter by Building Inspector	5.
6. Other (Zoning Board of Adjustment, for example)	6.
7. Drainage calculations and report	7.

V. DESIGN AND CONSTRUCTION REQUIREMENTS

See Section III: Standards and requirements for Site Development

*All newly proposed driveways and points of access must be approved by either the local Road Agent or by the NH Department of Transportation for curb cut locations.

VI. ENGINEERING REVIEW

- 1. Consolidation or subdivision required
 - a. plan submitted
 - b. plan per regulation (see major subdivision checklist)
- 2. Zoning Issues
 - a. zoning district shown
 - b. zoning district for adjacent properties within 1000' shown
 - c. wetlands involvement (see Article X, Candia Zoning Ordinance for definition of wetlands)
 - d. wetlands exception obtained from ZBA
 - e. site per zoning ordinance:
 - 1. frontage required _____
frontage proposed _____
 - 2. area required _____
area proposed _____
 - 3. usages permitted _____
usages proposed _____
 - 4. proposed usages permitted by special exception _____
 - f. date project scheduled with ZBA
 - g. ZBA stipulation recorded and complied with
 - h. buffers provided per regulations
 - i. parking adequate per regulations
 - j. setbacks:
 - 1. shown per regulations
 - 2. distances correct
 - 3. front yards per regulations
 - 4. rear and side yards per regulations
 - k. building height conforming
- 3. Plan elements submitted:
 - a. subdivision or lot line adjustment plan
 - b. site plan
 - c. landscaping, signage and lighting plan
 - d. drainage and utility plan
 - e. drainage profiles
 - f. drainage calculations
 - g. test pit data
 - h. soils map and or wetlands map
 - 1. SCS
 - 2. HISS
 - 3. Legend for soil types
 - i. sedimentation and temporary erosion control plan
- 4. Construction cost estimates and completion schedule

- 1.
- a.
- b.
- 2.
- a.
- b.
- c.
- d.
- e.
- f.
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- i.
- 4.

YES NO UNKNOWN

* Also required is an approved local or state driveway permit for all new access ways

APPLICATION FOR SITE PLAN REVIEW
CANDIA, NEW HAMPSHIRE

ABUTTER'S LIST (attach typed address labels -3 across)

* Include property owner(s), abutters (within 200 feet), agent and surveyor/engineer on the abutters list*

Fees: \$ _____ x 26 = \$ _____

Applicant/Subdivider Bob Carr, Claudia Patricia Carr Rev Trust

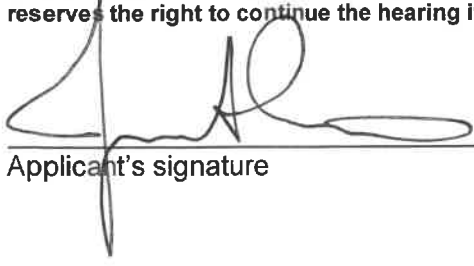
Property Owner Same as Applicant

Property Tax Map and Lot No. 405 / 48

ABUTTER NAME AND STREET ADDRESS MAP/LOT#

- 1. SEE ATTACHED LIST
- 2. _____
- 3. _____
- 4. _____
- 5. _____
- 6. _____
- 7. _____
- 8. _____
- 9. _____
- 10. _____
- 11. _____
- 12. _____
- 13. _____
- 14. _____
- 15. _____

All the above names and addresses must be shown on the site plan. A fee of \$8.33* per abutter is required at the time of application *(rates subject to change per US Post Office). **Applicant bears full responsibility that all required notices were given. Board reserves the right to continue the hearing if proper notice was not given.**



Applicant's signature

1/14/24

Date

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

January 10, 2024

Candia Planning Board
Attn. Rudy Cartier
74 High Street
Candia, NH 03034

**RE: Waiver Requests
669 High Street Candia, NH
Map 405, Lot 48
JBE Project No. 22201**

Dear Mr. Cartier:

Jones & Beach Engineers, Inc. respectfully submits a waiver request for the above-referenced parcel on behalf of our client & owner, Bob Carr, Claudia Patricia Carr Rev Trust. Since this property has some unique qualities, we are requesting waivers from various parts of the Site Plan Regulations.

Candia Major Site Plan Regulations – Section II, Article 4.03.E – The scale of the plan shall be at a minimum of one-inch equals twenty feet (1" = 20'), and the plan shall include a north arrow and the date.

We are asking for a waiver from this requirement because this site is 88 acres and most of that property is not being developed. Typically housing developments would be at a larger scale than 1"=20'. Since we are required to apply under the site plan regulations, those are more geared towards commercial sites and additions, which makes more sense for a more detailed site plan. Our plans are at 1"=50' and provide adequate detail for this spread out housing design.

Candia Major Site Plan Regulations – Section II, Article 4.03.F - A survey of the perimeter boundaries of the proposed use subject to site plan review, including compass bearings, distances, and area in acres.

We are asking for a waiver from this requirement because the site is 88 acres and mostly undeveloped backland. The client also agreed to no further development as part of the ZBA approval to allow the multi-family housing development. The units are not being sold off individually and therefore we are not required to survey the entire lot per the condominium law. We have surveyed approximately 17.6 acres of boundary which is well past the proposed barn in the rear of the parcel and enough to prove out density. Because of these reasons, we feel that this is a reasonable request given the small size of this developed compared to overall parcel size.

Candia Major Site Plan Regulations – Section II, Article 4.03.G – Existing and proposed topography showing surface contours at intervals not in excess of 2-feet.

We are asking for a waiver from this requirement because the site is 88 acres and mostly undeveloped backland. The client also agreed to no further development as part of the ZBA approval to allow the multi-family housing development. We have provided detailed topography on the front 15 acres, which is well more than the area needed for this small development. Because of these reasons, we feel that this is a reasonable request given the small size of this developed compared to overall parcel size.

Candia Major Site Plan Regulations – Section II, Article 4.03.I –The location of natural features such as rivers, streams, marshes, wetlands, and any man-made feature such as existing dams, roads, stone walls, and structures. The plan shall indicate those natural and man-made features which are to be removed, retained, or altered.

We are asking for a waiver from this requirement because the site is 88 acres and mostly undeveloped backland. The client also agreed to no further development as part of the ZBA approval to allow the multi-family housing development. We have provided detailed existing features for the front 15 acres, which is well more than the area needed for this small development. Because of these reasons, we feel that this is a reasonable request given the small size of this developed compared to overall parcel size.

Candia Major Site Plan Regulations – Section II, Article 4.05.B –A drainage analysis and report, stamped by a professional Engineer licensed in the State of New Hampshire, with supporting drainage calculations that include the following:

- a. Pre and post development drainage calculations for the specified storm events.
- b. A narrative of the project with a summary table for all required storm events of the peak discharge rate for the off-site discharge points.
- c. Test pit data where detention basin or storm water systems are proposed.
- d. Riprap apron or other scour protection dissipation or stability calculations.
- e. NHDES BMP worksheets when drainage and infiltration systems are utilized.
- f. A SWPP Plan.

We are asking for a waiver from this requirement because the large size of this parcel and the small amount of impervious surface being added. The sealed surface is 0.8% of the parcel, which is less than 1%. This same percentage when applied to a standard 3-acre lot would result in only 1,045 SF of impervious. Clearly a typical house lot has quite a bit more impervious surface than this percentage with their driveway and house. House lot development is not required to have detailed drainage studies when homes are built.

Most of the stormwater from this small site is being directed to the middle of the site where it flows across hundreds of feet of upland. This area consists of a mix of lawn areas and woods. After traveling that distance, it enters an onsite forested wetland area where it eventually makes it way to the rear of the property. All of the impervious area is downhill from Route 27 and therefore does not flow towards the roadway or affect the roadway in any way. The stormwater

receives treatment throughout that journey to the rear of the property and does not pose any more risk to water quality than a single-family house lot does.

We do have test pits on the property and one of them is in the middle of the cul-de-sac where we have a depression similar to a detention pond. We are providing temporary erosion control devices such as construction entrance, stone inlet protection, stone check dams, rip rap, erosion control matting and a plunge pool along with details. We will also provide a SWPPP Plan since the total area of disturbance is greater than an acre. That will be done after local approvals and prior to the start of construction once the contractor is determined.

Candia Major Site Plan Regulations – Section III, Article 8.06 – Storm Water Management:

We are asking for a waiver from this requirement because the large size of this parcel and the small amount of impervious surface being added. The sealed surface is 0.8% of the parcel, which is less than 1%. This same percentage when applied to a standard 3-acre lot would result in only 1,045 SF of impervious. Clearly a typical house lot has quite a bit more impervious surface than this percentage with their driveway and house. House lot development is not required to have detailed drainage studies when homes are built.

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Thank you very much for your consideration. If you have any questions, or need further assistance, please contact our office.

Very truly yours,
JONES & BEACH ENGINEERS, INC.



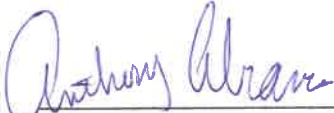
Joseph Coronati
Vice President

cc: Bob Carr (via email)


Letter of Authorization

I, Bob Carr, Claudia Patricia Carr Rev Trust Agrmt, 17 Vassar Street, Manchester, NH 038104, owner of property located in Candia, NH, known as Tax Map 405, Lot 48, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously mentioned property. The parcel is located on 669 High Street in Candia, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.



Witness



Bob Carr
Claudia Patricia Carr Rev
Trust Agrmt

12-12-23
Date

Personally, appeared the above-named Bob Carr, known to me or satisfactorily proven to be the person whose signature appears on this letter of authorization and acknowledged that the facts contained in the letter of authorization are true based upon their knowledge, information, and belief. Before me,

Notary Public/Justice of the Peace: _____

My commission expires: _____
BETTY E. RYDER
Notary Public - New Hampshire
My Commission Expires January 22, 2025





Town of Candia
LAND USE OFFICE
74 High Street
Candia, New Hampshire 03034
(603) 483-8588

**ZONING BOARD OF ADJUSTMENT
OFFICIAL NOTICE OF DECISION**

The **ZONING BOARD OF ADJUSTMENT** at its April 25, 2023, meeting made the following decision regarding a request for a variance to waive terms as stated in, Article II, Section 2.05 to build multiple dwellings on one lot at 669 High Street: Zoning Board Case #23-001.

APPLICANT: Bob & Claudia Carr – 17 Vassar Street, Manchester, NH 03104

PROPERTY OWNER(S): Bob & Claudia Carr – 17 Vassar Street, Manchester, NH 03104

PROJECT LOCATION: 669 High Street, Candia, NH 03034

TAX MAP: Map 405 LOT NUMBER 48

TITLE ON PLAN: Conceptual Site Plan

PLAN PREPARED BY: Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH 03885
603-772-4746

DECISION: Approved with the following conditions:

CONDITIONS:

Declarant hereby makes the following covenants and places the following restrictions on the Premises:

1. There shall be no further subdivision of the Premises for any additional development.

The covenants and restrictions above are subject to the following exceptions:

- a. The owner of the Premises may construct three two-family buildings (or duplexes) on the Premises, as approved by the ZBA on March 28, 2023, in Case No. 23-001;
- b. The owner of the Premises may construct a barn on the Premises, for non-commercial use, as shown on the Plans; and
- c. Declarant reserves the following rights, for non-commercial use, subject to satisfying all Town of Candia Land Use Regulations:

To construct a barn or similar building for storing equipment and tools, and recreational equipment and vehicles, on the Premises;

To construct buildings for agricultural purposes on the Premises;

To construct and maintain trails on the Premises;

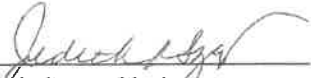
To convey a conservation easement, or easements, that could burden the Premises;

To construct and maintain any system on the Premises for producing electricity or power from solar, wind, water, wood, biomass, or geothermal systems.

To use the Premises for all lawful purposes, including but not limited to, recreation, agriculture, farming, livestock, forestry, tree farming, solar energy, wind energy, and all other uses consistent with the above.

These covenants and restrictions are appurtenant to the Premises, and shall run with the land, and shall bind and benefit Declarant’s successors and assigns, in perpetuity. The Declarant, its successors, or assigns, shall not be authorized to waive these provisions, unless the Candia Zoning Board of Adjustment has first approved any proposed waiver. The terms and conditions of this Covenant may be enforced by the Town of Candia.

For further information regarding this decision, contact Town of Candia Land Use Office (603) 483- 8588.


 Judith Szot, Chairman
 Candia Planning Board

Date April 27, 2023

**ZONING BOARD OF ADJUSTMENT
ACCEPTANCE OF NOTICE OF DECISION**

Please endorse this document and return it to the Planning Board within 30 days.

I/We _____

_____ as owner(s)
of the property referenced in the application for a variance granted for one year, to permit the building of three duplexes on one lot. I do hereby acknowledge and accept the terms and conditions of the enclosed "Official Notice of Decision" and that I/We further understand that all representations and/or materials submitted to the Zoning Board at the public hearing for said application and shown on the plat referenced in said "Official Notice of Decision" shall be deemed conditions of approval.

Signed: _____
Bob and Claudia Carr

Date: _____

Please Note: Failure to return this document within thirty (30) days could cause the approval to lapse.

Book: 6150 Page: 2657

E # 20040805 08/12/2020 11:27:32 AM
Book 6150 Page 2657 Page 1 of 3
Register of Deeds, Rockingham County



Return to:
Claudia P. Carr
17 Vassar Street
Manchester NH 03104

LCHIP	ROA509173	25.00
RECORDING		18.00
SURCHARGE		2.00

QUITCLAIM DEED

Claudia P. Carr, married, of 17 Vassar Street, Manchester NH 03104

For Consideration Paid

Grants to Claudia Carr, Trustee of The Claudia Patricia Carr Revocable Trust Agreement, with an address of 17 Vassar Street, Manchester NH 03104

with QUITCLAIM COVENANTS, a certain tract of land with the buildings and improvements thereon, situate in Candia, County of Rockingham, State of New Hampshire, on the northerly side of High Street, containing about 204 acres, more or less, and bounded and described as follows:

Beginning at the southeasterly corner of said tract of said highway and at the southwesterly corner of land of one Alice Brown;

1. Northerly by said Alice Brown land by a stone wall to a point in said stone wall at the southwesterly corner of a 5 acre tract of land conveyed by James H. Brown to George H. Brown, by deed recorded in the Rockingham County Registry of Deeds at Book 482, Page 228;
2. Easterly still by land of the said Alice Brown to a stake and stones;
3. Northerly to a stake and stones on the range road, so called;
4. Westerly by said range road to a post in the wall at the northwest corner of land conveyed by Abel B. Parker to George H. Brown, by Deed dated January 18, 1881, and recorded in said Registry of Deeds at Book 482, Page 227;
5. Southerly as the fence now stands to a spotted tree in the corner of the fence;
6. Easterly by a wire fence to a post in a stone wall;
7. Southerly by a stone wall to said High Street;
8. Easterly by said High Street to the point of beginning.

Excepting and reserving from said described premises the following described tract:

- 2 -

A certain tract of land with the buildings thereon, situate in Candia, County of Rockingham, State of New Hampshire, on the northerly side of High Street, bounded and described as follows:

Beginning on the southeasterly corner of said tract on said highway, and at the southwesterly corner of one Alice Brown, and running parallel with High Street in a westerly direction a distance of 200'.

1. In a northerly direction parallel with wall on the westerly side of Alice Brown, a distance of 500', more or less, to stone wall running parallel with High Street.
2. 200' in an easterly direction parallel with High Street to the Stone Wall of Alice Brown;
3. 500' in a southerly direction along said Alice Brown wall to the point of beginning of High Street.

Containing 100,000 square feet, more or less.

Said conveyance also includes any and all rights quitclaimed to the said Proctor M. Hammond by Deed of Rose A. Royer dated October 23, 1947, recorded in the Rockingham County Registry of Deeds at Volume 1085, Page 94.

Said conveyance is subject to a right of way sold to Socony Vacuum Oil Company and recorded in said Registry.

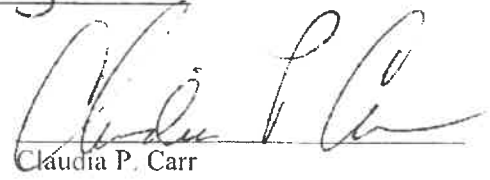
For title reference see Warranty Deed from Noel H. B. Desilets and Helen V. Desilets to Claudia P. Carr, dated July 1, 2005, recorded in the Rockingham County Registry of Deeds at Book 4507, Page 1774.

This is a non-contractual transfer therefore no transfer stamps are due.

This is not homestead property.

The within was prepared without the benefit of a title search.

Executed this 11th day of August 2020

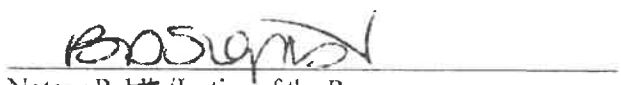


Claudia P. Carr

STATE OF NEW HAMPSHIRE

COUNTY OF Hillsborough

The foregoing Quitclaim Deed was acknowledged before me on this 11th day of August, 2020, by Claudia P. Carr.



Notary Public/Justice of the Peace
My commission expires:



**TEST PITS
FOR
669 High Street
Candia
September 14, 2023
JBE Project No. 22201**

Performed by: Joseph Coronati, Jones & Beach Engineers, Inc., SSD #1716

Test Pit #1

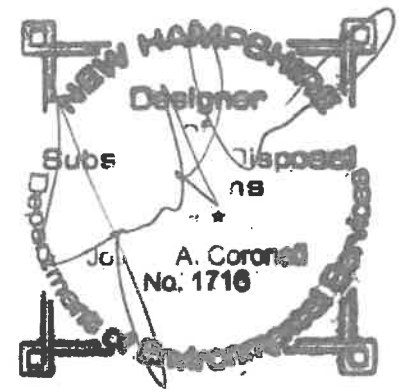
0"- 6"		topsoil
6"- 20"	10YR 4/4	dark yellowish brown fine sandy loam rocky, friable
20"- 60"	10YR 6/4	light yellowish brown sandy clay firm, saturated

SHWT = 20"
Roots to 20"
H₂O @ 36"
No Refusal observed
Perc Rate = 20 min/inch

Test Pit #2

0"- 6"		topsoil
6"- 18"	10YR 3/4	dark yellowish brown fine sandy loam friable
18"	10Y 4/4	dark yellowish brown silty sand friable, saturated

SHWT = 18"
Roots to 18"
H₂O @ 23"
No Refusal observed
Perc Rate = 20 min/inch



Test Pit #3

0"- 10"		topsoil
10"- 22"	10YR 3/4	dark yellowish brown fine sandy loam friable
22"- 60"	10YR 4/4	dark yellowish brown loamy sand friable many mottles

SHWT = 22"
 Roots to 18"
 NO H₂O
 No Refusal observed
 Perc Rate = 16 min/inch

Test Pit #4

0"- 16"		topsoil
16"- 60"	10YR 4/4	dark yellowish brown loamy sand, wet loose, friable

SHWT = 16"
 Roots to 16"
 H₂O @ 16"
 No Refusal observed
 Perc Rate = 14 min/inch

Test Pit #5

0"- 10"		topsoil
10"- 20"	10YR 3/4	dark yellowish brown fine sandy loam friable
20"- 60"	10Y 4/4	dark yellowish brown loamy sand firm, mottles

SHWT = 20"
 Roots to 20"
 NO H₂O observed
 No Refusal observed
 Perc Rate = 14 min/inch

Test Pit #6

0"- 8"

topsoil

8"- 24"

10YR 3/4

dark yellowish brown
fine sandy loam
friable

24"- 60"

10Y 4/4

dark yellowish brown
loamy sand
firm, moist

SHWT = 24"

Roots to 24"

NO H₂O observed

No Refusal observed

Perc Rate = 14 min/inch

Test Pit #7

0"- 6"

topsoil

6"- 24"

10YR 4/4

dark yellowish brown
loamy sand
friable, dry

24"- 54"

10YR 4/4

dark yellowish brown
loamy sand
firm, cobbles, mottles

SHWT = 24"

Roots to 24"

NO H₂O observed

No Refusal observed

Perc Rate = 12 min/inch

**ABUTTERS LIST (200 FT)
AS OF
DECEMBER 1, 2023
FOR
669 HIGH STREET, CANDIA, NH
JBE PROJECT No. 22201**

OWNER OF RECORD/APPLICANT:

TAX MAP 405/ LOT 48
CLAUDIA PATRICIA CARR REV TRUST AGRMT
CLAUDIA CARR, TRUSTEE
17 VASSAR ST
MANCHESTER, NH 03104
BK 6150/PG 2657 (08/12/20)

ABUTTERS:

402/7-5
DKAM CONTRACTING LLC
81 HALLS MILL ROAD
CANDIA, NH 03034
4618/0193 (02/13/06)

402/12
MARIA MURBER
616 NORTH ROAD
CANDIA, NH 03034
6340/1007 (10/13/21)

402/13
HARRY & HOLLY RUTH WALKER, JR
628 NORTH ROAD
CANDIA, NH 03034
6486/370 (06/01/23)

402/15
LYNN DELLA & EDWARD C ACEVEDO
640 NORTH ROAD
CANDIA, NH 03034
6446/1242 (10/17/22)

402/16
JOHN R & AUDREY A ADKINS TRUSTEES
ADKINS FAMILY REV TRUST OF 2018
642 NORTH ROAD
CANDIA, NH 03034
5918/2691 (05/30/18)

402/17
RICHARD L & CASSANDRA S ABOOD
654 NORTH ROAD
CANDIA, NH 03034
2977/1709 (04/16/93)

402/18
TODD S GOODMAN
MUN BOKYOUNG
656 NORTH ROAD
CANDIA, NH 03034
6143/1742 (07/27/20)

402/27-16
DEBORAH T MARTEL TRUSTEE
DEBORAH MARTEL LIVING TRUST
151 HORIZON LANE
CANDIA, NH 03034
5485/0853 (10/07/13)

402/27-17
DANIEL J & JOAN M ROHN
159 HORIZON LANE
CANDIA, NH 03034

402/27-18
ERIC E. & DIANE P. RAND
167 HORIZON LANE
CANDIA, NH 03034
3406/0910 (07/08/99)

402/27-22
BRANDON & ELIZABETH POPE
176 HORIZON LANE
CANDIA, NH 03034
6120/0998 (05/29/20)

404/28
DANA S MAZZARELLI
MICHELLE GOULET
9 DONOVAN ROAD
CANDIA, NH 03034
5867/2407 (10/31/17)

404/29
NATHAN DEMERS
686 HIGH STREET
CANDIA, NH 03034
5719/0742 (05/31/16)

404/30-6
ANTHONY & PAULINE A. STEINMETZ
700 HIGH ST
CANDIA, NH 03034
3009/2477 (09/30/93)

404/97-1
MARC D & LISA T SOUSA
105 MERRILL ROAD
CANDIA, NH 03034
6312/1822 (08/05/21)

404/111
ALFRED J. & IRENE GUILLETTE
703 HIGH ST
CANDIA, NH 03034
2801/1266 (07/21/89)

404/112
ROBERT W & MARILYN H BERGEVIN
687 HIGH STREET
CANDIA, NH 03034
3269/0828 (02/18/98)

404/112-1
405/49 & 50
STEVEN W WEEKS
651 HIGH STREET
CANDIA, NH 03034
6149/2698 (08/10/20) – LOT 112-1
6149/2701 (07/31/20) – LOTS 49 & 50

405/46
FLB ASSOCIATES, LLC
650 HIGH ST
CANDIA, NH 03034
4390/1016 (10/27/04)

405/47
PAMPERED PUP LLC
12 DONOVAN STREET
CANDIA, NH 03034
6432/535 (08/17/22)

405/51
COLLEEN A & DAVID C GOYETTE
643 HIGH ST
CANDIA, NH 03034
5836/2264 (07/19/17)

405/52
DANA C YATES
635 HIGH STREET
CANDIA, NH 03034
2381/0566 (12/23/80)

405/54
ROBERT W & LISA H TRUSTEES
MARTEL FAMILY TRUST DECEMBER 2019
621 HIGH STREET
CANDIA, NH 03034
5973/1918 (12/19/18)

ENGINEERS/SURVEYORS:

JONES & BEACH ENGINEERS, INC.
ATTN: JOSEPH CORONATI
PO BOX 219
STRATHAM, NH 03885

WETLAND SCIENTIST:

GOVE ENVIRONMENTAL SERVICES
ATTN. JAMES GOVE
8 CONTINENTAL DRIVE, UNIT H
EXETER, NH 03833

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CLAUDIA CARR, TRUSTEE
17 VASSAR ST
MANCHESTER, NH 03104

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CLAUDIA CARR, TRUSTEE
17-VASSAR ST
MANCHESTER, NH 03104

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CLAUDIA CARR, TRUSTEE
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CANDIA, NH 03034

STEVEN W WEEKS
651 HIGH STREET
CANDIA, NH 03034

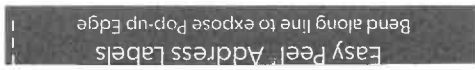
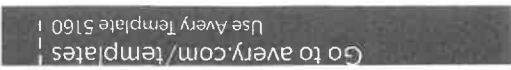
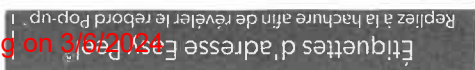
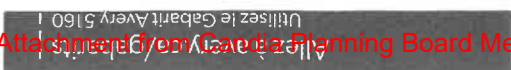
STEVEN W WEEKS
651 HIGH STREET
CANDIA, NH 03034

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CANDIA, NH 03034

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CANDIA, NH 03034

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CANDIA, NH 03034

DANA C YATES
635 HIGH STREET
CANDIA, NH 03034

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CANDIA, NH 03034

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635 HIGH STREET
CANDIA, NH 03034

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MARTEL FAMILY TRUST DECEMBER 2019
621 HIGH STREET
CANDIA, NH 03034

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CANDIA, NH 03034

JONES & BEACH ENGINEERS, INC.
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STRATHAM, NH 03885

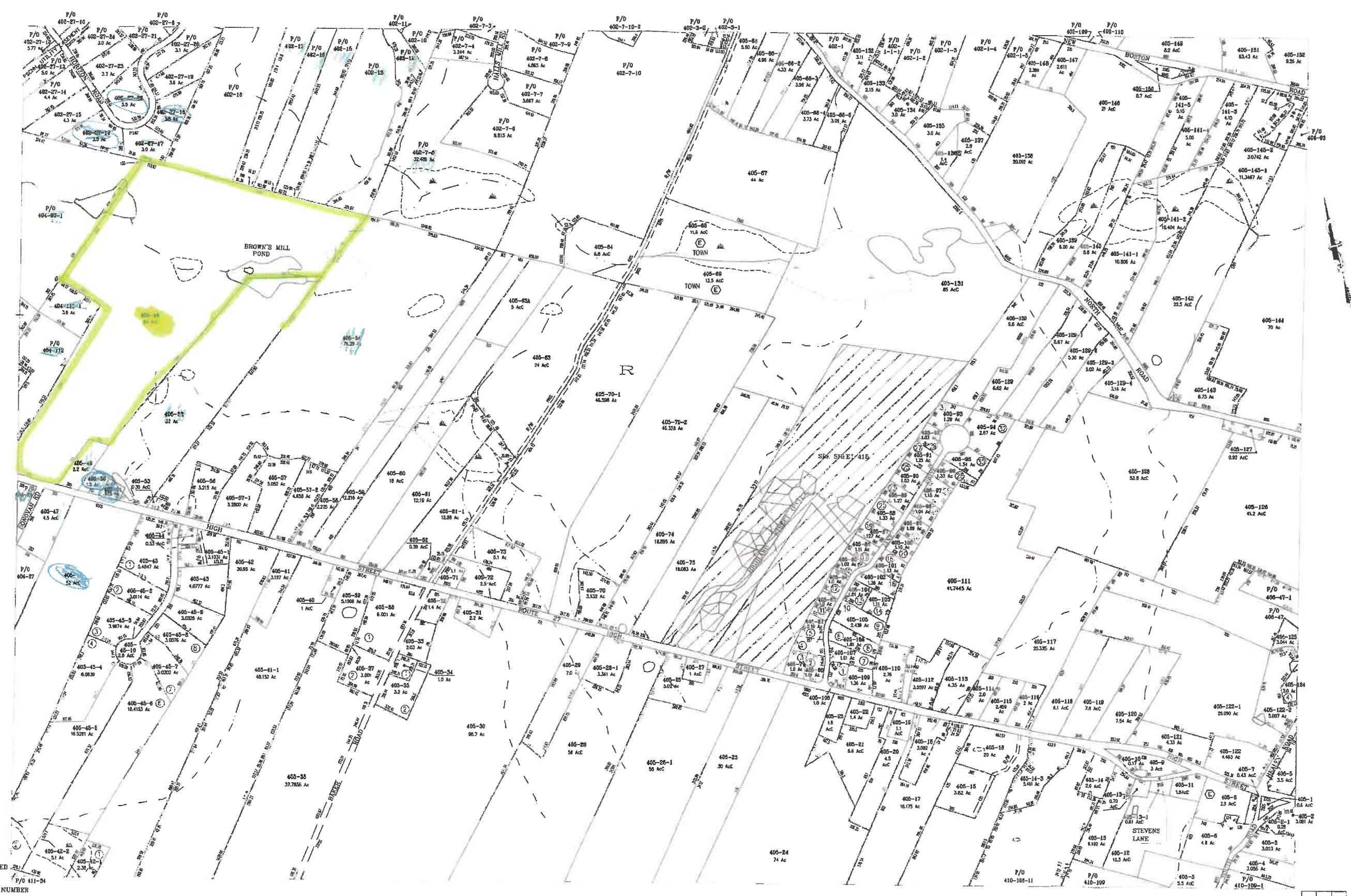
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STRATHAM, NH 03885

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8 CONTINENTAL DRIVE, UNIT H
EXETER, NH 03833

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ATTN. JAMES GOVE
8 CONTINENTAL DRIVE, UNIT H
EXETER, NH 03833



LEGEND
 C COMPUTED
 D DEED
 S SCALED P/O 411-04
 (S) SUBLOT NUMBER
 (E) EXEMPT
 / PART OF ORIGINAL LOT

Prepared by
ROLLAND ASSOCIATES
 100 Main Street
 Candia, NH 03026
 Date of original map August 10, 2003
 Date of latest rec. August 10, 2003
 File: 07100007.dwg
 Printed & Published by: GAI Technologies
 Scale: 1"=400'

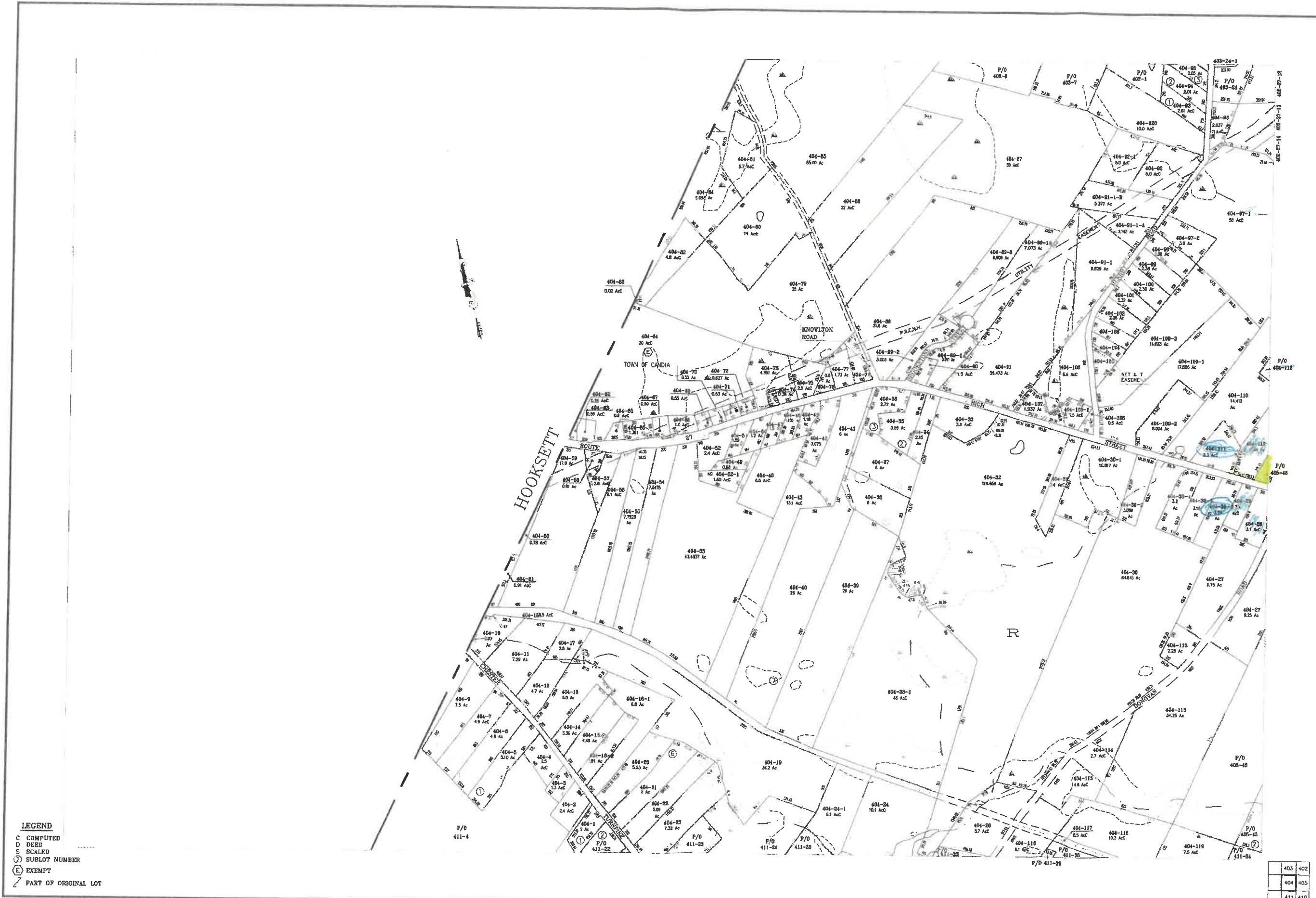
The data on this map has been compiled from a variety of sources granted voluntarily by private individuals. The data is not to be considered legal location of property boundary lines. The TOWN OF CANDIA assumes no responsibility for the accuracy of individual parcels.

PROPERTY MAP
CANDIA
 NEW HAMPSHIRE



403	402	401
404	405	406
411	410	409

405



LEGEND
 C COMPUTED
 D DEED
 S SCALED
 ② SUBLOT NUMBER
 (E) EXEMPT
 / PART OF ORIGINAL LOT

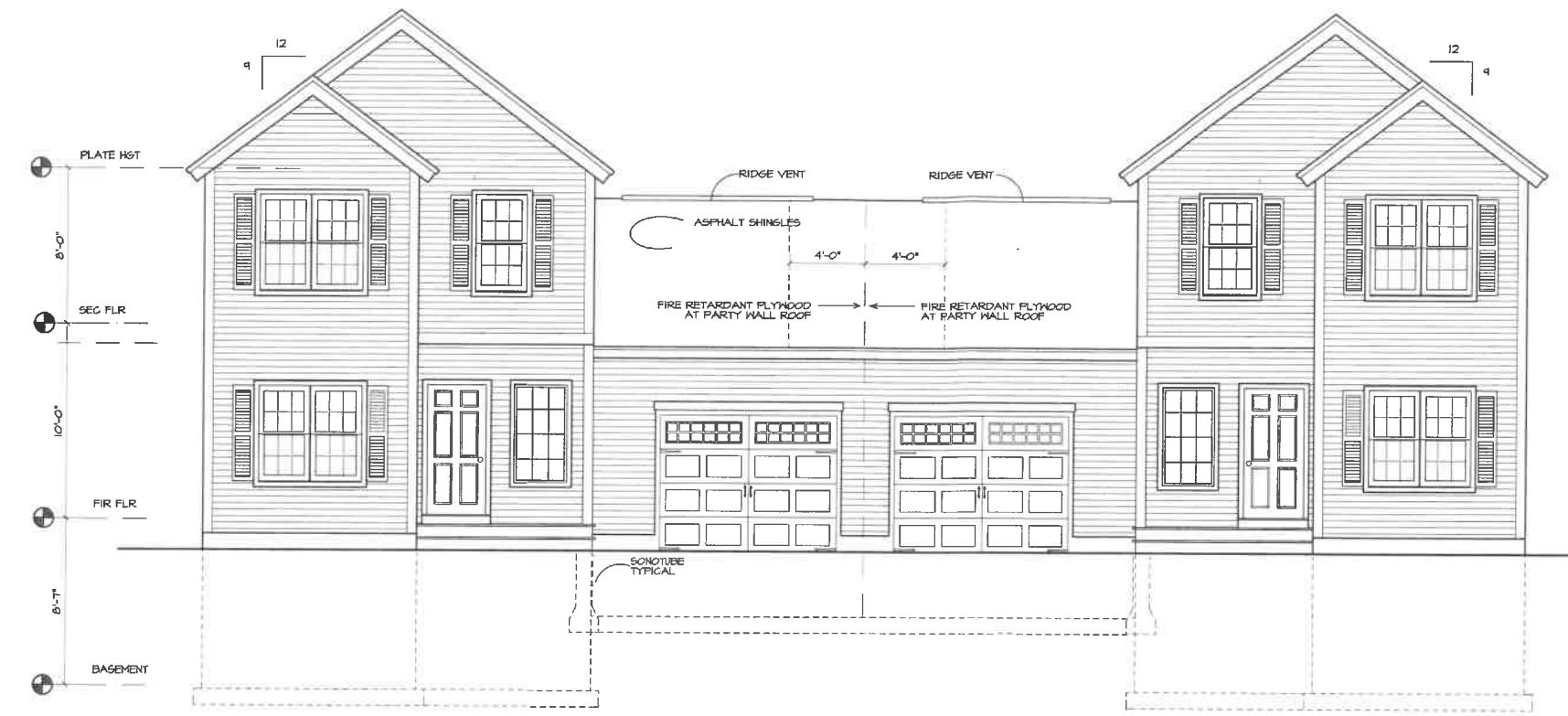
403	402
404	405
411	410

Prepared by
ROLLARD ASSOCIATES
 100 Main Street
 Candia, NH 03024
 (603) 748-4400
 Fax: (603) 748-4401
 Date of original map: August 13, 2020
 Date of latest rev: August 13, 2020
 File: 079404.dwg
 Revised & Reprinted By: CM Technologists
 Scale: 1" = 400'

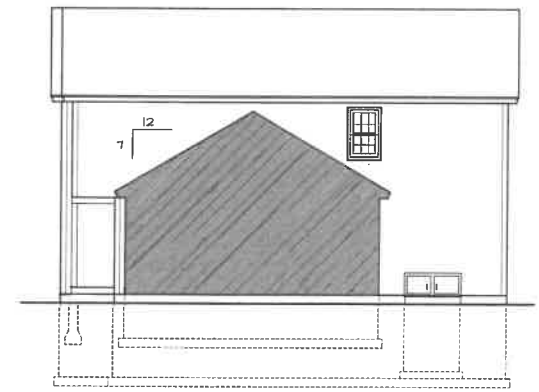
The data on this map has been compiled from a variety of sources and is not guaranteed to be accurate. The owners and official sources of the data are the responsible parties. The TOWN OF CANDIA assumes no responsibility for the accuracy of individual parcels.

PROPERTY MAP
CANDIA
 NEW HAMPSHIRE

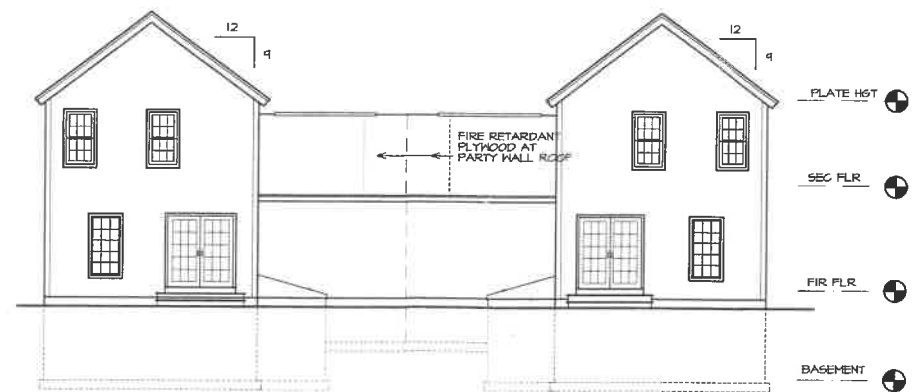




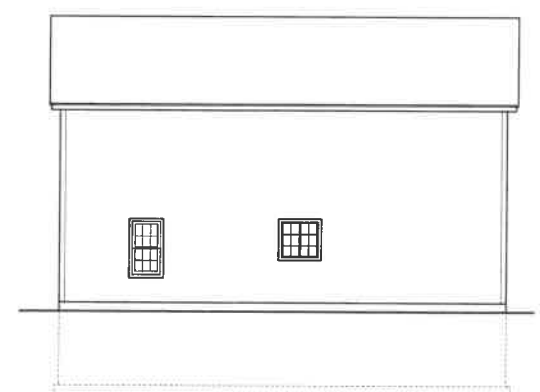
1 FRONT ELEVATION
AI SCALE: 1/4" = 1'-0"



2 TYP. INTERIOR SIDE ELEVATION
AI SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
AI SCALE: 1/8" = 1'-0"



4 TYPICAL SIDE ELEVATION
AI SCALE: 1/8" = 1'-0"

 Alternative Designs Inc. 23-282	PER UNIT CALCULATIONS:	
	FIRST FLOOR	795 S.F.
	SECOND FLOOR	830 S.F.
TOTAL		1625 S.F.

2018 INTERNATIONAL RESIDENTIAL CODE

Alternative
Designs Inc.
www.alternativedesigns.com
Residential/Commercial
Design
94 Old Granite Street
Manchester, NH 03101
phone: (603) 645-4388
fax: (603) 645-6010

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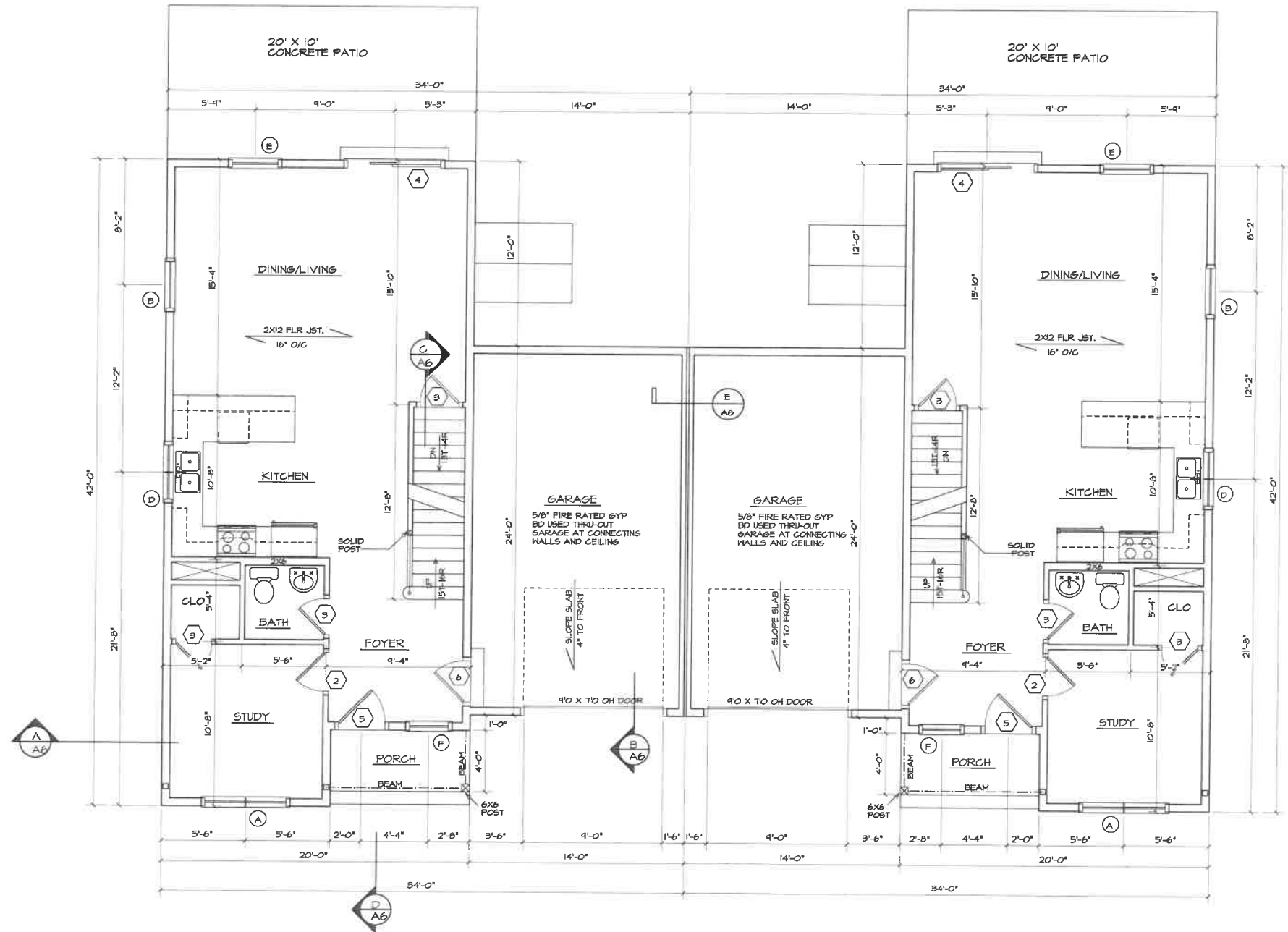
BOB CARR
NEW DUPLEX TO BE BUILT IN CANDIA, NH

Contractor to check & verify all dimensions and materials before construction. All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

REVISIONS	

23-282
AUG 2023
SHEET 1 OF 7

A1



2 FIRST FLOOR PLAN (STANDARD)
 A4 SCALE: 1/4" = 1'-0"

NOTE:
 1. PROVIDE HANDRAIL AT EACH STAIRWAY WITH 4 OR MORE RISERS

WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.6.2



Alternative Designs Inc.
 www.alternativedesigns.net
 Residential/Commercial Design
 94 Old Granite Street
 Manchester, NH 03101
 phone: (603) 645-4388
 fax: (603) 645-6010

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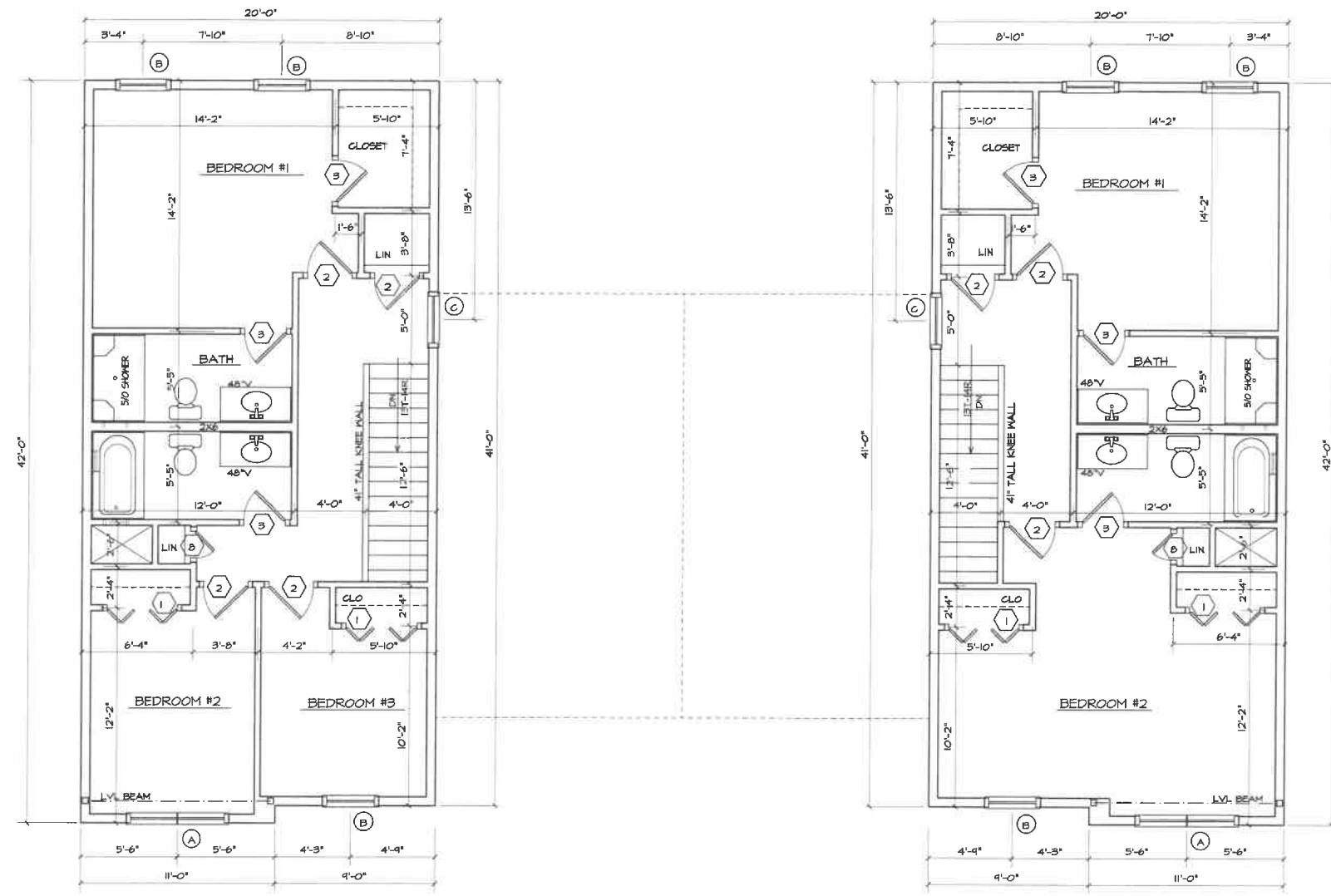
Contractor to check & verify all dimensions & structural members before construction.
 All construction shall be in strict compliance with the State of New Hampshire Building Code, whenever applicable.

REVISIONS

23-282
 AUG 2023
 SHEET 3 OF 7

Alternative Designs Inc.
23-282

A3



1 SECOND FLOOR PLAN
 A4 SCALE: 1/4" = 1'-0"

NOTE:
 1. PROVIDE HANDRAIL AT EACH STAIRWAY WITH 4 OR MORE RISERS

WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS, AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.6.2



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 www.alternativedesigns.net
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 Manchester, NH 03101
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 fax: (603) 645-6010

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Contractor to check & verify all dimensions & structural members in construction shall be in strict compliance with The State of New Hampshire or Massachusetts Building Codes, whichever applicable.

REVISIONS

23-282
 AUG 2023
 SHEET 4 OF 7



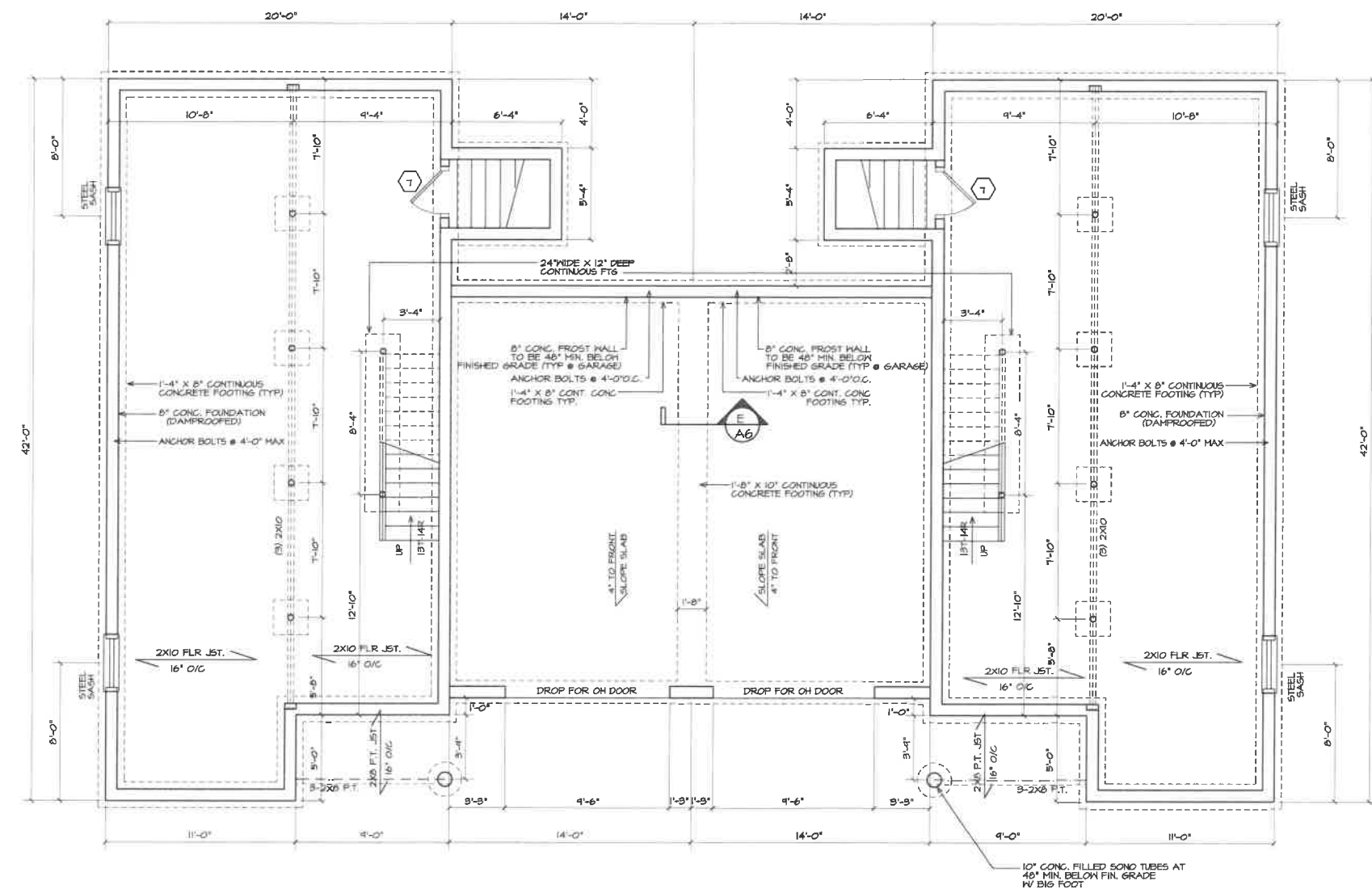
A4



Alternative Designs Inc.

Residential/Commercial Design
 94 Old Granite Street
 Manchester, NH 03101
 phone: (603) 645-4388
 fax: (603) 645-6010

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1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

NOTE: SEE DRAWING A2 FOR CONCRETE NOTES AND ADDITIONAL INFORMATION

GENERAL NOTES

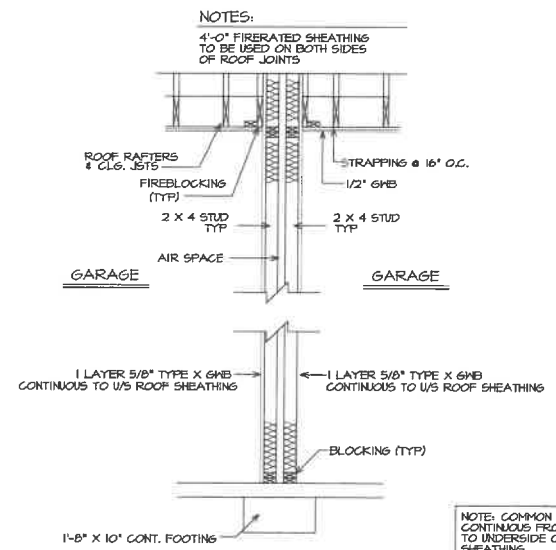
- CONC BULKHEAD SIZE AND LOCATION TO BE DETERMINED BY SITE CONDITIONS AND/OR CONTRACTOR
- WALKOUTS AS PER SITE CONDITIONS AND CONTRACTOR
- STEEL SASH WINDOW SIZES AND LOCATIONS TO BE DETERMINED BY CONTRACTOR

Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

NO.	REVISIONS

23-282
 AUG 2023
 SHEET 5 OF 7

A5



E PARTY WALL DET.
SCALE: 1/4" = 1'-0"

NOTE: COMMON WALL TO BE CONTINUOUS FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING

PARTY WALL SPECIFICATIONS

FIRE RATED - 1 HR
UL DESIGN U376
CONFIGURATION C

- ### GENERAL NOTES
- A. 2X12 RIDGE BOARD
 - B. 2X10 RAFTERS @ 16" O/C (UNLESS OTHERWISE NOTED) FLYWOOD SHEATHING, 15# BUILDING PAPER, & 235# ASPHALT SHINGLES W/ ICE SHIELD AT RAFTER TAILS AND VALLEYS.
 - C. 2X6 COLLAR TIES AT 32" O/C (TYPICAL)
 - D. 2X6 CEILING JOISTS AT 16" O/C WITH R-49 FIBERGLASS BATT INSULATION (TYPICAL)
 - E. METAL DRIP EDGE, 1X4 PINE BLOCKING (SUB-FASCIA) 1X8 FINE BOARD FASCIA, & 3/8" EXTERIOR AC FLYWOOD SOFFIT WITH 2" CONTINUOUS LOUVERED VENTS (TYPICAL)
 - F. 2X6 STUDS @ 16" O/C, R-21 FIBERGLASS BATT INSULATION IN BETWEEN 1/2" PLYWOOD SHEATHING & EXTERIOR SIDING W/ "TYVEK" OR EQUAL (OPTIONAL) AND 1/2" GYP. BD. ON THE INTERIOR.
 - G. 2-2X6 TOP PLATES AND 1-2X6 SHOE (BOTTOM PLATE)
 - H. 2X10/12 FLOOR JOISTS @ 16" O/C (UNLESS OTHERWISE NOTED) WITH 3/4" T&G SUBFLOOR (GLUED & NAILED) R-30 FIBERGLASS BATT INSULATION AT FIRST FLOOR ONLY.
 - I. 2" RIGID INSULATION INSIDE FACE OF CONCRETE WALL TO TOP OF SLAB
 - J. 8" CONCRETE FOUNDATION WALL WITH 1-2X6 PRESSURE TREATED SILL PLATE W/ SILL SEALER, ANCHOR BOLTS @ 4'-0" O.C. (TYPICAL)
 - K. 4" CONCRETE SLAB FLOOR OVER (MIN. 6") COMPACTED GRAVEL
 - L. 8" CONCRETE FROST WALL TO BE 48" MIN. BELOW FINISHED GRADE WITH 1-2X6 PRESSURE TREATED SILL PLATE W/ SILL SEALER, ANCHOR BOLTS @ 4'-0" O.C. (TYPICAL)
 - M. 1'-4" X 8" CONTINUOUS CONCRETE FOOTINGS (TYPICAL)
 - N. 3-2X10 BUILT-UP BEAM OVER 3 1/2" DIAM. STEEL LALLY COLUMN WITH TOP AND BOTTOM END PLATES, OVER 24"X24"X12" CONCRETE FOOTINGS.
 - O. 1X3 STRAPPINGS AT 16" O/C & 1/2" GYP. BD. (TYPICAL)
 - P. 2X12 STAIR STRINGERS
 - Q. CONTINUOUS RIDGE VENT
 - R. 2X6 STUD WALL @ 16" O.C.
 - S. HURRICANE CLIPS AND FRAMING ANCHORS AS REQ'D.
 - T. 2" RIGID INSULATION INSIDE FACE OF CONCRETE WALL TO TOP OF SLAB

DESIGN LOADS

LIVE LOAD AT LIVING SPACES:	40 PSF
LIVE LOAD AT SLEEPING SPACES:	30 PSF
ROOF DEAD LOAD:	10 PSF
GROUND SNOW LOAD:	75 PSF

FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER ALL PARALLEL BEARING WALLS

PROVIDE 1X4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.

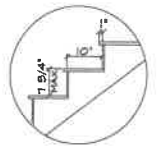
WHERE PREENGINEERED FLOOR OR ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.

ALL LUMBER MUST BE NO. 2 OR BETTER, SPRUCE - PINE - FIR.

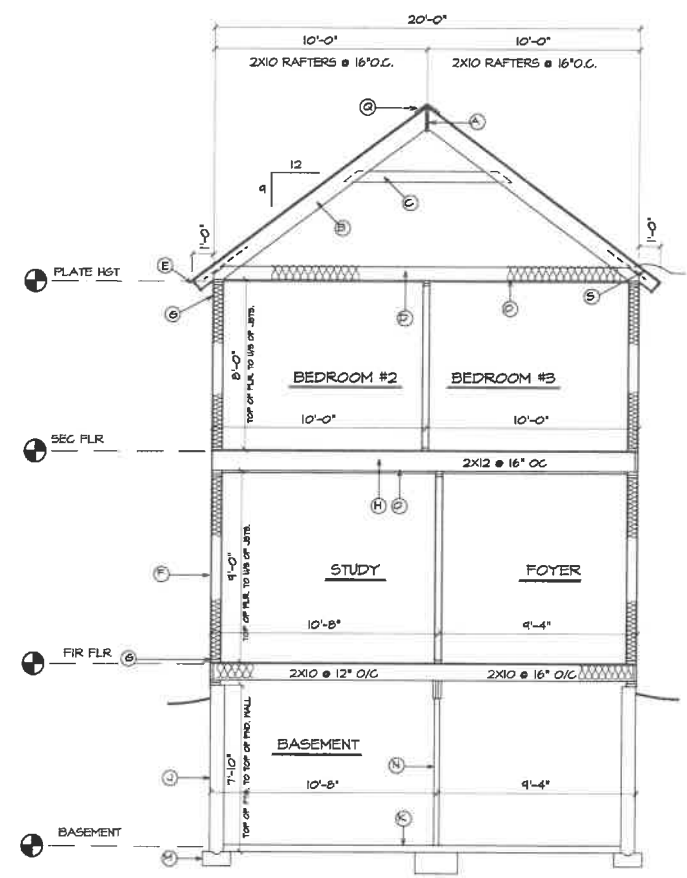
PROVIDE MOISTURE VAPOR RETARDERS IN ALL FRAMED WALLS, FLOORS AND ROOFCEILINGS IN ACCORDANCE WITH I.R.C. SECTIONS R102.1

PROVIDE MOISTURE VAPOR RETARDERS UNDER CONC. SLABS AS PER R-506.2.3

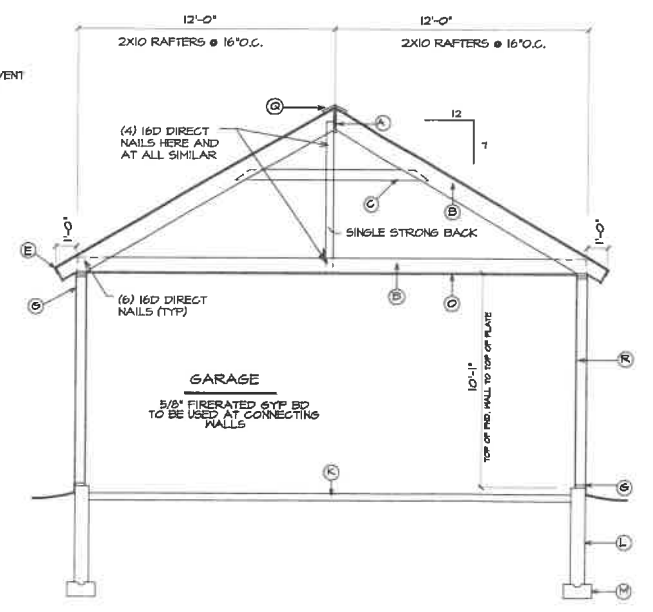
ATTIC ACCESS (MIN 22" X 30") LOCATION TO BE DETERMINED BY CONTRACTOR



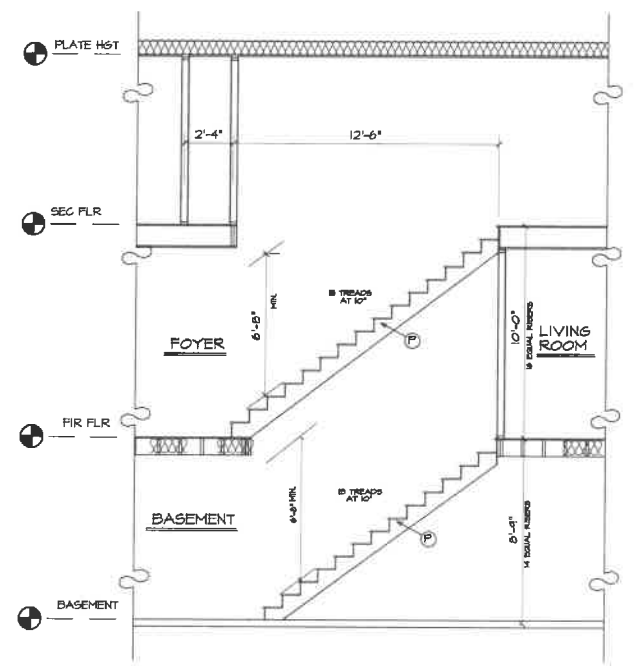
STAIR CODE
NOT TO SCALE



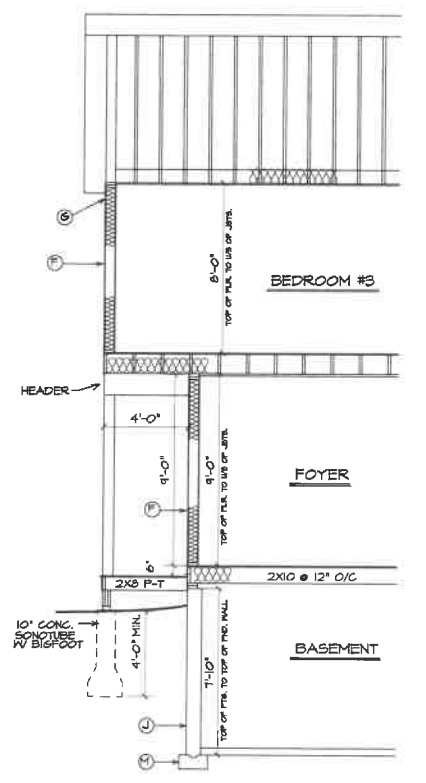
A TYPICAL SECTION
SCALE: 1/4" = 1'-0"



B SECTION @ GARAGE
SCALE: 1/4" = 1'-0"



C SECTION @ STAIRS
SCALE: 1/4" = 1'-0"



D TYPICAL SECTION
SCALE: 1/4" = 1'-0"

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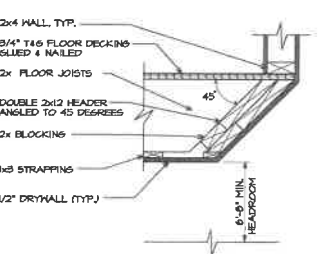
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Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

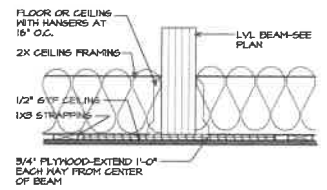
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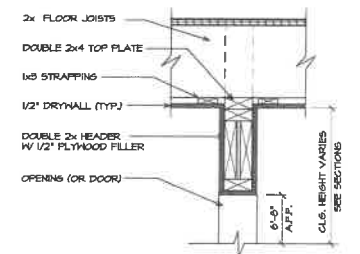
A6



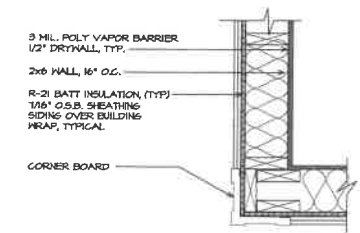
1 STAIRWELL HEADER
SCALE: 1" = 1'-0"



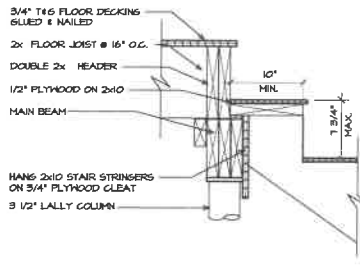
2 LVL FLUSH BEAM
SCALE: 1" = 1'-0"



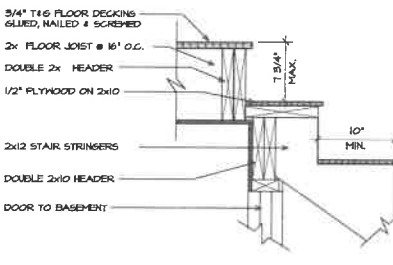
3 INTERIOR HEADER DTL.
SCALE: 1" = 1'-0"



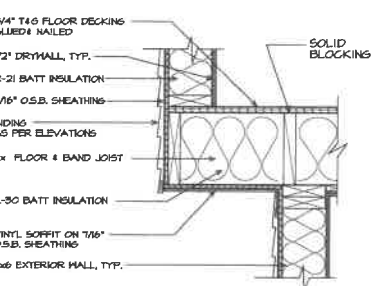
4 CORNER DETAIL
SCALE: 1" = 1'-0"



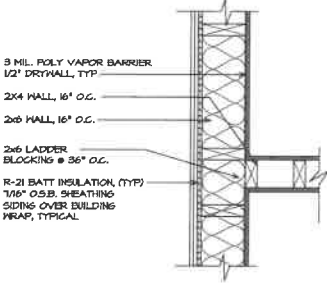
5 STAIRWELL BEAM
SCALE: 1" = 1'-0"



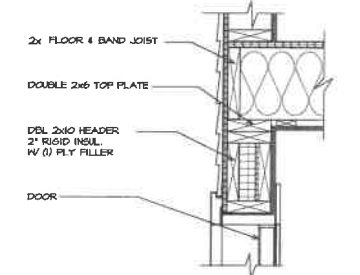
6 STAIR OVER HEADER
SCALE: 1" = 1'-0"



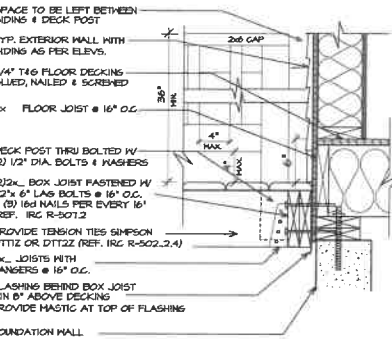
7 CANTILEVER DETAIL
SCALE: 1" = 1'-0"



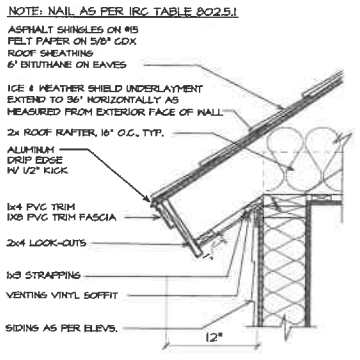
8 INT. WALL TO EXT. WALL
SCALE: 1" = 1'-0"



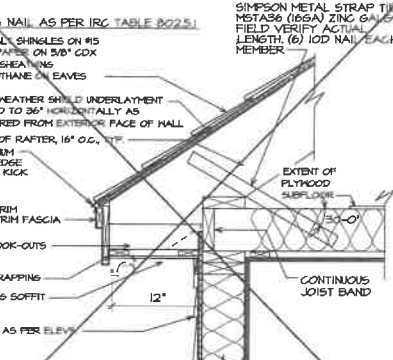
9 EXT. DOOR HEADER DTL.
SCALE: 1" = 1'-0"



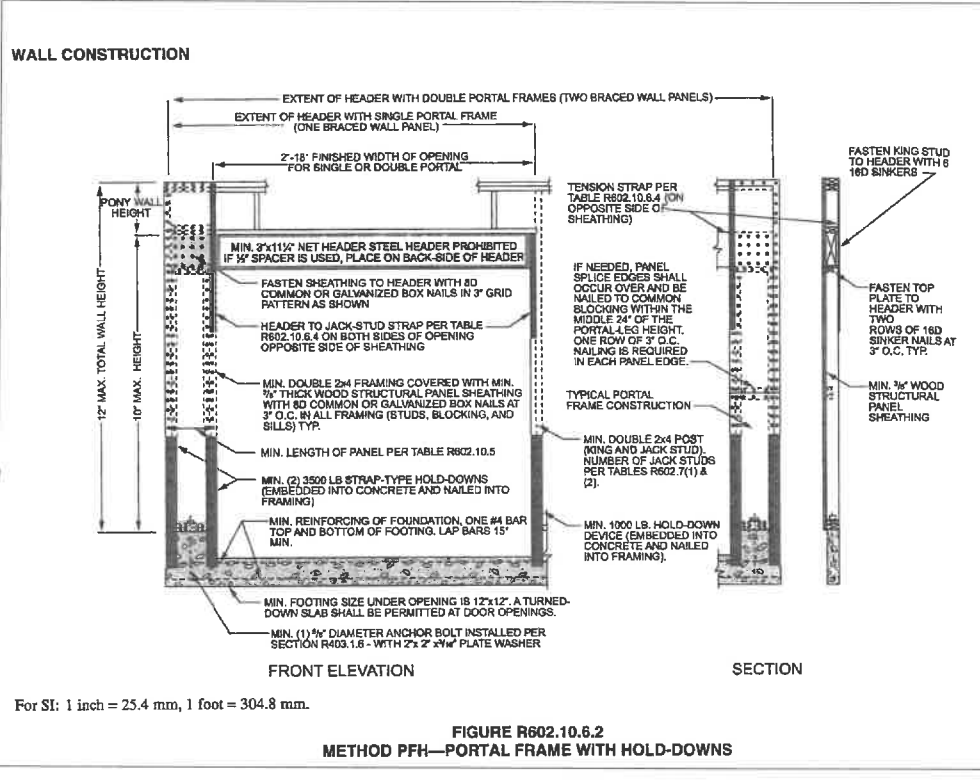
10 DECK TO HOUSE DETAIL
SCALE: 1" = 1'-0"



11 SOFFIT DETAIL (LOW EAVE)
SCALE: 1" = 1'-0"



12 SOFFIT DETAIL (HIGH EAVE)
SCALE: 1" = 1'-0"



13 METHOD PFH - PORTAL FRAME WITH HOLD-DOWNS
REF. (FIGURE R602.10.6.2)

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NO.	REVISIONS

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AUG 2023
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